

Confidential Inspection Report
4412 Somewhere Lane
Hometown , SC



Prepared for: Joe Customer

This report is the exclusive property of the inspection company and the client whose name appears herewith and its use by any unauthorized persons is prohibited.

Rowell's Home Inspections
P.O. Box 12579
Florence, SC 29504
SC HOME INSPECTORS LICENSE # 1768
SC RESIDENTIAL BUILDERS LICENSE # 7148

INSPECTION CONDITIONS

CLIENT & SITE INFORMATION: / ROWELL'S HOME INSPECTIONS LLC

1.1 REPORT/ FILE #: 2720.	1.2 DATE OF INSPECTION: September 7, 2020.	1.3 TIME OF INSPECTION: 9:00 AM.
1.4 PROPERTY OPEN BY: Combination lock box.	1.5 CLIENT NAME: Joe Customer.	1.6 CLIENT'S REALTOR / AGENCY Bob Sells - A-1 & Better Realty.
1.7 INSPECTION SITE: 4412 Somewhere Lane.	1.8 INSPECTION SITE CITY/STATE/ZIP: Hometown , SC.	

PAYMENT INFORMATION:

1.9 TOTAL FEE: 350.00.

- **REPORT LIMITATIONS / CONDITIONS**
 - **This inspection report is valid for 45 days from the date of inspection.**
 - **Client understands that the inspection and inspection report are performed and prepared for their sole, confidential and exclusive use only. Use of this report by any other purchasers of this property other than the named [client-buyers] - is not authorized.** This inspection, along with any subsequent re-inspections of the property conditions, is performed in accordance with the [Standards of practice set by South Carolina Residential Builders Commission LLR]. These guidelines are intended to provide the client with a better understanding of the property conditions, as observed at the time of inspection. It is not intended to reflect the value of the premises, nor make any advisability of purchase. The report expresses the personal opinions of the inspector, based upon his **visual impressions** of the conditions that existed at the time of the inspection only. **The inspection and report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered.**
 - **Systems and conditions which are not within the scope of the building inspection include, but are not limited to: Mold, formaldehyde, lead paint, asbestos, toxic or flammable materials, and other environmental hazards; pest / insect infestation, water wells (water quality, smells and water quantity) air quality (smells to include smoking related smells, pet smells etc.)** [See attached limitations]
- The report is not intended to be a warranty or guarantee of the present or future adequacy or performance of the structure, its systems, or their component parts.** This report does not constitute any express or implied warranty of merchantability or fitness for use regarding the condition of the property and it should not be relied upon as such. Any opinions expressed regarding adequacy, capacity, or expected life of components are general estimates. Rowell's Home Inspections LLC certifies that their inspectors have no interest, present or contemplated, in this property or its improvement and no involvement with trades people or benefits derived from any sales or improvements. Client agrees not to disturb or repair or have repaired anything which may constitute evidence relating to the complaint, except in the case of an emergency. The customer requests the visual inspection of the readily accessible areas of the structure.
- **This inspection is limited to visual observation existing at the time of the inspection. The customer agrees and understands that the maximum liability incurred by The Inspector/The Company for errors and omissions in the inspection shall be limited to amount of the fee paid for the inspection**

Report Limitations / Conditions

- **The following items are not required for inspection:**

The inspector is NOT required to:

- A. The inspector is NOT required to determine methods, materials, or costs of corrections.
- B. Reasoning or explanation as to the nature of the deficiencies that are not self-evident,
- c. Those systems and components designated for inspection in this Standard that were present at the time of the home inspection but were not inspected and the reason(s) they were not inspected.

- **The inspector is NOT required to:**

- A. Provide engineering or architectural services or analysis.
- B. Offer an opinion about the adequacy of structural systems and components.
- C. Enter under-floor crawlspace areas that have less than 24 inches of vertical clearance between components and the ground or that have an access opening smaller than 16 inches by 24 inches.
- D. traverse attic load-bearing components that are concealed by insulation or by other materials.

- **The inspector is NOT required to inspect:**

Screening, shutters, awnings, and similar seasonal accessories. Fences, boundary walls, and similar structures. Geological and soil conditions. Recreational facilities. Outbuildings other than garages and carports. Seawalls, break-walls, and docks. Erosion control and earth stabilization measures.

- **The inspector is NOT required to inspect :**

Clothes washing machine connections. Interiors of vent systems, flues, and chimneys that are not readily accessible. Wells, well pumps, and water storage related equipment. Water conditioning systems. Solar, geothermal, and other renewable energy water heating systems. Manual and automatic fire extinguishing and sprinkler systems and landscape irrigation systems. Septic and other sewage disposal systems.

- **The inspector is NOT required to determine:**

Whether water supply and sewage disposal are public or private. Water quality. The adequacy of combustion air components. Measure water supply flow and pressure, and well water quantity. Fill shower pans and fixtures to test for leaks.

- **The inspector is NOT required to inspect :**

Remote control devices. Test smoke and carbon monoxide alarms, security systems, and other signaling and warning devices. Low voltage wiring systems and components. Ancillary wiring systems and components not a part of the primary electrical power distribution system. Solar, geothermal, wind, and other renewable energy systems. Measure amperage, voltage, and impedance. Determine the age and type of smoke alarms and carbon monoxide alarms. Open access panels not readily accessible [Home owner accessible]

- **The inspector is NOT required to inspect .**

- Interiors of vent systems, flues, and chimneys that are not readily accessible. Heat exchangers. Humidifiers and dehumidifiers. Electric air cleaning and sanitizing devices. Heating systems using ground-source, water-source, solar, and renewable energy technologies. Heat-recovery and similar whole-house mechanical ventilation systems.

- **The inspector is NOT required to determine:**

Heat supply adequacy and distribution balance. The adequacy of combustion air components.

- **The inspector is NOT required to:**

Inspect electric air cleaning and sanitizing devices. Determine cooling supply adequacy and distribution balance. Inspect cooling units that are not permanently installed or that are installed in windows. Inspect cooling systems using ground-source, water-source, solar, and renewable energy technologies.

- **The inspector is NOT required to inspect:**

Paint, wallpaper, and other finish treatments. Floor coverings. Window treatments. Coatings on and the hermetic seals between panes of window glass. Central vacuum systems. Recreational facilities. Installed and free-standing kitchen and laundry appliances . Appliance thermostats including their calibration, adequacy of heating elements, self cleaning oven

cycles, indicator lights, door seals, timers, clocks, timed features, and other specialized features of the appliance. Operate, or confirm the operation of every control and feature of an inspected appliance.

- **The inspector is NOT required to disturb insulation in the crawl space**

- **The inspector is NOT required to inspect :**

Interiors of vent systems, flues, and chimneys that are not readily accessible. Fire screens and doors. Seals and gaskets. Automatic fuel feed devices. Mantles and fireplace surrounds. Combustion air components and to determine their adequacy. Heat distribution assists (gravity fed and fan assisted). Fuel-burning fireplaces and appliances located

outside the inspected structures. Determine draft characteristics. Move fireplace inserts and stoves or firebox contents.

- **GENERAL LIMITATIONS AND EXCLUSIONS**

A. The inspector is NOT required to perform actions, or to make determinations, recommendations on, or to not specifically stated in the Standard.

This report is not designed to be technically exhaustive.

2. Are not required to identify and to report: Concealed conditions, latent defects, consequential damages, and Cosmetic imperfections that do not significantly affect a components performance of its intended function.

- **General exclusions**

A. The inspector is NOT required to determine:

The condition of systems and components that are not readily accessible.2. The remaining life expectancy of systems and components.3. The strength, adequacy, effectiveness, and efficiency of systems and components.4. the causes of conditions and deficiencies.5. Methods, materials, and costs of corrections.6. Future conditions including but not limited to failure of systems and components.7. The suitability of the property for specialized uses.8. Compliance of systems and components with past and present requirements and guidelines (codes, regulations, laws, ordinances, specifications, installation and maintenance instructions, use and care guides, etc.). 9. The market value of the property and its marketability.10. The advisability of purchasing the property.11. The presence of plants, animals, and other life forms and substances that may be hazardous or harmful to humans including, but not limited to, wood destroying organisms, molds and mold-like substances.12. The presence of environmental hazards including, but not limited to, allergens, toxins, carcinogens, electromagnetic radiation, noise, radioactive substances, and contaminants in building materials, soil, water, and air.13. The effectiveness of systems installed and methods used to control or remove suspected hazardous plants, animals, and environmental hazards.14. Operating costs of systems and components.15. Acoustical properties of systems and components.16. Soil conditions relating to geo technical or hydrologic specialties.17. Whether items, materials, conditions and components are subject to recall, controversy, litigation, product liability, and other adverse claims and conditions.

- **The inspector is NOT required to offer:**

Or to perform acts or services contrary to law or to government regulations. Or to perform architectural, engineering, contracting, or surveying services or to confirm or to evaluate such services performed by others. Or to perform trades or professional services other than home inspection. Warranties or guarantees.

- **The inspector is NOT required to operate:**

Systems and components that are shut down or otherwise inoperable. Systems and components that do not respond to normal operating controls. Shut-off valves and manual stop valves. Automatic safety controls.

- **The inspector is NOT required to enter:**

Areas that will, in the professional judgment of the inspector, likely be dangerous to the inspector or to other persons, or to damage the property or its systems and components. Under-floor crawlspaces and attics that are not readily accessible.

- **The inspector is NOT required to inspect:**

Underground items including, but not limited to, underground storage tanks and other underground indications of their presence, whether abandoned or active. Items that are not installed. Installed decorative items. Items in areas that are not entered in accordance with 13.2.D. Detached structures other than garages and carports. Common elements and common areas in multi-unit housing, such as condominium properties and cooperative housing. Every occurrence of multiple similar components. Outdoor cooking appliances.

- **The inspector is NOT required to:**

Perform procedures or operations that will, in the professional judgment of the inspector, likely be dangerous to the inspector or to other persons, or to damage the property or its systems or components. Describe or report on systems and components that are not included in the Standard and that were not inspected. Move personal property, furniture, equipment, plants, soil, snow, ice, and debris. Dismantle systems and components, except as explicitly required by this Standard. Reset, reprogram, or otherwise adjust devices, systems, and components affected by inspection required by this Standard. Ignite or extinguish fires, pilot lights, burners, and other open flames that require manual ignition. Probe surfaces that would be damaged or where no deterioration is visible or presumed to exist.

EXTERIOR -

This inspection is "visual "in nature and does not attempt to determine drainage performance of the site, flood zone evaluations, site stability or the condition of any underground piping, including municipal water and sewer service piping or septic systems. Driveways and sidewalks and porches often have stress cracks in the concrete or asphalt , these cracks are typical in our area and sealing these when conditions exist is considered typical maintenance. Fencing is not included in this report. Areas hidden from view by finished walls or stored items can not be judged and are not a part of this inspection. Minor vertical type cracks are typical in many foundations and brick exterior walls, most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. The inspector is not required to provide engineering or provide structural analysis or provide a opinion about adequacy of structural system and components . All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined. **This inspection in no way guarantees the type of construction whether custom system , stick built / modular are other construction types.** The inspector is not required to enter a crawl space exterior opening of less than [16 inches by 24 inches] or enter / inspect crawl space under floor areas less than [24 inches of vertical clearance between components and the ground] [*under floor duct work etc. may restrict access*] or where adverse conditions exists or determine the extent of damage caused by insects. Exterior trim / boxing etc. inspections not required to be preformed above ground level. **All underground piping and unexposed piping related to water supply, waste, septic tanks or sprinklers use are excluded from this inspection. This includes under ground supply water piping / sewage tank systems and drain line piping. Leakage, corrosion and restrictions in underground piping cannot be detected by a visual inspection.**

All fireplaces should be cleaned and inspected on a regular basis to make sure that no cracks have developed and the fireplace functions properly. We routinely recommend a chimney sweep / fire place maintenance professional evaluate any fire places to be used for wood burning before the close of escrow.

- **All directional references to left, right, front, or rear assume the reader is standing in the street, facing the front doors of the building being referenced.**

CLIMATIC CONDITIONS:

2.1 Inspection day weather: Overcast.

2.2 Temperature at time of inspection : 70-80 degrees.

2.3 Rainfall: No rainfall in our area in the last 24 hours .
There was no standing water noted in the yard at time of inspection however some areas may experience standing water for a undetermined time after a heavy rainfall.

OTHER INFORMATION:

2.4 House occupied ? Yes.

2.5 Client present : **No- Client was not present / By accepting this report the client agrees to accept fully all conditions contained in this report and the inspection agreement. The report contained herein is solely for the use and benefit of the client and is not intended to be for the benefit or relied upon by any other buyer, lender, title insurance company, or other third party.**

2.6 People present : No one.

2.7 Comments : **This inspection was conducted on a older home. All apparent cosmetic and other minor deficiencies may not have been listed . This report is not intended to address very single item or to be technically exhaustive.**

Exterior storage / garages / buildings / not included in this inspection unless specified

Pool and related pool components are not within the scope of this inspection and are fully excluded -

BUILDING CHARACTERISTICS:

2.8 *Estimated age of house:*

You may want to have your Realtor check the MLS sheet for accurate age of the house.

Public records obtained through the internet [realtor. com, etc] indicated approximate age of the structure @ 1997.

2.9 *Building type :*

1 story.

UTILITY SERVICES/ EXTERIOR

2.10 *Water source:*

Public / Meter was observed near the street in front yard. The public meter will be the water cut off location.

Note - Other water cut off locations may be present , however cut off locations may not be determined and or viewable.

2.11 *Sewage disposal :*

MLS listing sheet noted the house as public sewer.

2.12 *Utilities status - water / gas etc.*

All utilities on.

2.13 *Exterior electrical service :*

/ Underground electrical service located at exterior Main entrance service cables , Aluminum - ok Ground wire extending into the ground restricts viewing of ground rod and clamps.

LANDSCAPING:

2.14 *Condition :*



- Plants and shrubs should be trimmed back 1 ft. from structure. This will help support ventilation through the crawl space and also may help maintain favorable conditions for exterior siding

Concrete Driveway -- The driveway has some typical cracking noted due possibly due to age - Recommend monitor- keep all areas tightly sealed / repaired.

GRADING:

2.15 *Site:*

The lot is predominately a flat site -- No standing water was observed at time of inspection, however storm water may stand in yards for a period of time after rains which is typical in our area.

EXTERIOR HOSE FAUCETS:

2.16 *Exterior hose bibs / Faucets*

Exterior hose bibs with functional flow noted.

2.17 *Exterior faucets / Conditions*

- Exterior hose bib[s] not secured to the structure at the center and right front areas --
*Hose bibs not secured to the structure can cause damage to the pipes when you pull a hose attached to them. We routinely recommend securing all exterior faucets, especially faucets with plastic lines attached.
Recommend a contractor evaluate / repair secure as needed.*

EXTERIOR WALLS:

2.18 Material :

Note -Visual inspection only. Interior wall components [studs , headers, wall insulation , foundation wall footers etc.] could not be viewed due to exterior and interior wall coverings installed or ground etc. restricting viewing.
Exterior walls are predominately, vinyl siding.

2.19 Foundation vents :

We recommend keeping foundation vents free from obstructions and open during the warm months to help facilitate with ventilation in the crawlspace.

EXTERIOR WINDOWS

2.20 Windows:

Predominately vinyl type windows with insulated glass *Window screens are considered seasonal window additions - Missing or damaged screens are usually not noted in this inspection due to not being necessary for weather tightness.*

EXTERIOR TRIM / WOODWORK / FASCIA SOFFIT

2.21 Material:

Formed metal trim fascia with vinyl soffits.

EXTERIOR PAINT

2.22 Conditions :

Exterior paint appears to be serviceable with normal wear
I suggest caulking any open or cracked joints around siding, trim, doors and windows to prevent water intrusion as needed . This is usually considered typical maintenance.

EXTERIOR ENTRANCES

2.23 Rear / Side Entrance:



- **The rear entrance wood steps have a damaged step tread** - Possible trip / fall hazard

Recommend a contractor evaluate deck members - repair as needed.

2.24 Entrance door bell :

Front entrance door bell operated at time of inspection.

DECK / PORCH / BALCONY

2.25 Deck/ Porch/ Balcony:

Wood materials were used in the deck construction.
Wood materials were used in the deck construction. *Normal weathering noted to the exterior deck.*
Typical maintenance includes monitoring members and tightening / securing members as needed.

ROOF

The foregoing is an opinion of the general quality and condition of the roofing material. The inspector is not required to determine the remaining life of the roof. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. **The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection.** The roof inspection is of a visual nature, unexposed shingle nailing patterns and effectiveness cannot be evaluated and are assumed to be installed correctly. The inspector is not required to walk on roofs [due to possible fall hazards] and un-viewable areas can not be evaluated . Roof installed skylights if installed may be prone to leak over time if regular monitoring and roof inspections are not maintained. Inspection of roof additions such as [roof antennas, solar panels etc.] are excluded and not within the scope of this inspection. **Viewing of all roof flashing may be not possible, blind flashing behind siding cannot be fully viewed and is assumed to be installed correctly.** *It is a good idea to obtain periodic roof inspections / evaluations, cleaning of foreign materials etc. on a routine basis to insure water tightness and roofing integrity.*

ROOF:

3.1 How Inspected

Roof was inspected by use of ladder in accessible areas and the use of binoculars from the ground. All areas were not accessible / viewable. Non viewable areas are excluded from this inspection.

3.2 Style:

Predominately, Gable /

3.3 Roof covering / Status:

Asphalt / fiberglass composite - Architect Style - These shingles are the architect style shingles which are usually of a more superior grade or longevity than the standard 3 tab shingles. These shingles a commonly referred to as a 25 year or better shingle but in actual practice the longevity of this shingle is expected to be in the 12 to 20 year range.

Appears serviceable / within useful life

It is recommended that the seller provide documentation as to the shingles age / last replacement, repairs. This information may be required / asked by some insurance carriers.

3.4 Roof / Conditions:



- **There are damaged end cap shingles at gable ends There are some nail heads visible from the roof that are not sealed @**
- Recommend a contractor evaluate / seal as needed. --
Recommend a roofing contractor evaluate - repair as needed.

EXPOSED FLASHINGS:

3.5 Type / Conditions:

Blind flashings under / siding, roofing etc. are not viewable and cannot be evaluated by a visual inspection..

ROOF PENETRATIONS / VENT PIPES

3.6 Plumbing vent pipes:

Plumbing vent stacks appear to be serviceable.

ROOF VENTILATION

3.7 Roof Ventilation:

Ridge vents observed at tops of ridgeline.

HEATING - AIR CONDITIONING

Heat pumps and gas pack units are the two most widely used central unit type heating and air conditioning systems used in our part of the country.

It is beyond the scope of this inspection to determine the life remaining life expectancy of heat and air unit, but typically around 15 + - years is the life expectancy of some units. Although major repairs and scheduled servicing can extend the life of most units. We suggest contacting the owners as to the age of the units, servicing and any major repairs made.

It is also a good idea and we routinely recommend HVAC units and related components, exterior units, air handlers, duct work etc. be evaluated by a trained HVAC specialist before the close of escrow. The component evaluations are not a guarantee or warranty of future performance. It is only an evaluation of how a component was working or performing when inspected. *This report is not an insurance policy, nor a warranty service. HOME WARRANTIES can sometimes be purchased separately from other companies to protect you when component failure occurs.*

The inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, as this can only be done by dismantling the unit. This is beyond the scope of this inspection. The inspector is not required to light pilot lights on gas logs, appliances, furnaces, water heaters or any other gas or oil fuel type systems. Safety devices are not tested by the inspector.

Thermostats are not checked for calibration or timed functions. *Adequacy, the sizing of the unit for the structure, efficiency or the even distribution of air throughout a building cannot be addressed by a visual inspection and are not within the scope of this inspection.* Electronic air cleaners, humidifiers and de-humidifiers are beyond the scope of this inspection. Have these systems evaluated by a qualified individual. The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding coolant charge or line integrity. Subjective judgment of system capacity is not a part of the inspection. Normal service and maintenance is recommended on a yearly basis. Determining the condition of oil tanks or gas tanks, whether exposed or buried, is beyond the scope of this inspection. The inspector is not required to activate systems that have been shut down or winterized.

The inspector is not required to report on the total efficiency or distribution of any system.

HEAT AND AIR SYSTEM

- | | |
|---------------------------------------|---|
| 4.1 Location / type primary unit : | This unit is commonly called a split unit with the air handler in the crawl space - |
| 4.2 Portion of system operated: | The System was only tested in the AC mode only due to seasonal temperatures. |
| 4.3 System type: | Heat pump / electric. |
| 4.4 Equipment brand: | Trane. |
| 4.5 Exterior unit manufacture / Model | Model number as appears on plate is # WATT3024AA1000BA
It is always a good idea to have the heating and cooling systems checked by a licensed HVAC contractor before the close of escrow. We suggest having routine HVAC service performed yearly. |
| 4.6 System size in tons : | + - / 2.5 tons / This number is only an approximate estimate by the data plate
<i>Note / We make no verification as to correct sizing for housing applications. or total sizing of combined HVAC units for efficiency.</i> |
| 4.7 Unit Serial # / Age | Probable manufacture date of exterior unit as taken from serial # 2009. |
| 4.8 Normal controls : | Serviceable / Operational. |
| 4.9 Supply vents: | A representative number of supply vents were inspected and appear to be in serviceable condition. |
| 4.10 Return filters: | <i>We suggest checking filters once a month or changing them as recommended by filter manufacturer.</i> |
| 4.11 Return air temperature: | Return air temperature on the cooling cycle at the return was measured in degrees F @ 74. |
| 4.12 Supply air temperature registers | @ The temperature recorded in the cooling cycle was recorded in degrees F @ 56. |
| 4.13 Air temperature drop / rise: | The drop in temperature during cooling cycle was recorded in degrees @ 18 degrees |

The air conditioning cycle operated within acceptable limits.

Unit was also operated in the heating cycle with the temperatures noted in degrees @ 89-104 degrees

Functional in heating cycle at time of inspection.

DUCTWORK:

4.14 Crawl space / Duct work: Insulated sheet metal, flexible round duct work combination .

HEAT AND AIR SYSTEM # 2

4.15 Location / type primary unit : This unit is commonly called a split unit with exterior compressor. Air handler is in the attic -

4.16 Portion of system operated: The System was only tested in the AC mode only due to seasonal temperatures.

4.17 System type: Heat pump / electric.

4.18 Equipment brand: Trane.

4.19 Exterior unit manufacture / / Model

Model

Model number as appears on plate is # 4TWB3024A1000AA

It is always a good idea to have the heating and cooling systems checked by a licensed HVAC contractor before the close of escrow. We suggest having routine HVAC service preformed yearly.

4.20 System size in tons : + - / 2.5 tons / This number is only an approximate estimate by the data plate
Note / We make no verification as to correct sizing for housing applications. or total sizing of combined HVAC units for efficiency.

4.21 Unit Serial # / Age Serial number as appears on identification plate is # 2009.

4.22 Normal controls : Serviceable / Operational.

4.23 Supply vents: A representative number of supply vents were inspected and appear to be serviceable condition.

4.24 Return air temperature: Return air temperature on the cooling cycle at the return was measured in degrees F @ 76.

4.25 Supply air temperature @ registers The temperature recorded in the cooling cycle was recorded in degrees F @ 60.

4.26 Air temperature drop / rise: The drop in temperature during cooling cycle was recorded in degrees @ 16
The air conditioning cycle operated within acceptable limits

Unit was also operated in the heating cycle with the temperatures noted in degrees @ 90-103 degrees - ok

Functional in heating cycle at time of inspection.

ELECTRICAL SYSTEM

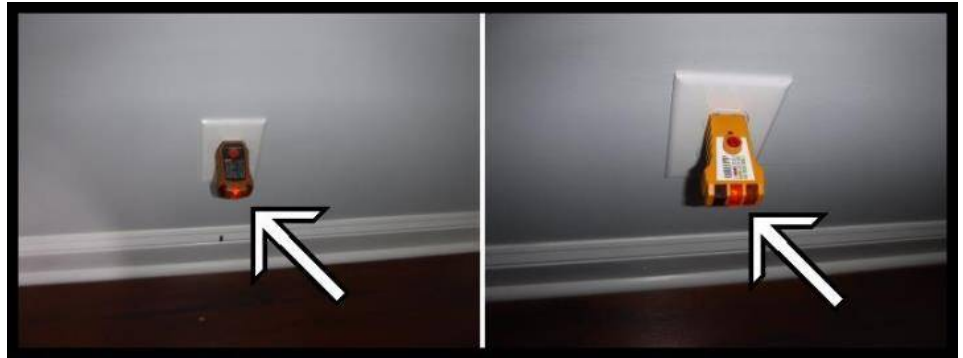
Any electrical repairs or evaluations should be performed by a licensed electrician before the close of escrow. **Inoperative light fixtures often lack bulbs or have dead bulbs installed. Light bulbs are not changed during the inspection, also no technically exhaustive circuitry testing was performed due to time constraints, light bulb outages are considered typical maintenance and may not be included in the inspection.** Operation of time clock motors is not verified. Smoke Alarms should be properly installed and tested regularly. **Ceiling fans are operated with wall switches only when provided, pull chain operations on, off and speed controls are not inspected.** The inspector is not required to move any objects to gain access to any outlets or electrical panels; test GFCI breakers that are not connected to a wall outlet; activate any systems or branch circuits that are not energized; insert any tool, probe or testing device into the main or sub panels; or test any smoke detector by any means other than supplied by the manufacturer. **A representative number of switches ,receptacles and fixtures will be tested during this inspection.**

SWITCHES & OUTLETS/ LIGHTING/ WIRING

5.1 Switches/ Outlets / Wiring

A representative sampling of switches and outlets was tested including GFI outlets. As a whole, outlets and switches throughout the house are in serviceable condition. No determination as to what downstream GFI protected outlets are protected. *Stored items, furniture, and outlets in use prevent access and testing at some outlets and switches. This is typical in most houses.*

5.2 Switches / Outlets / Wiring / Conditions



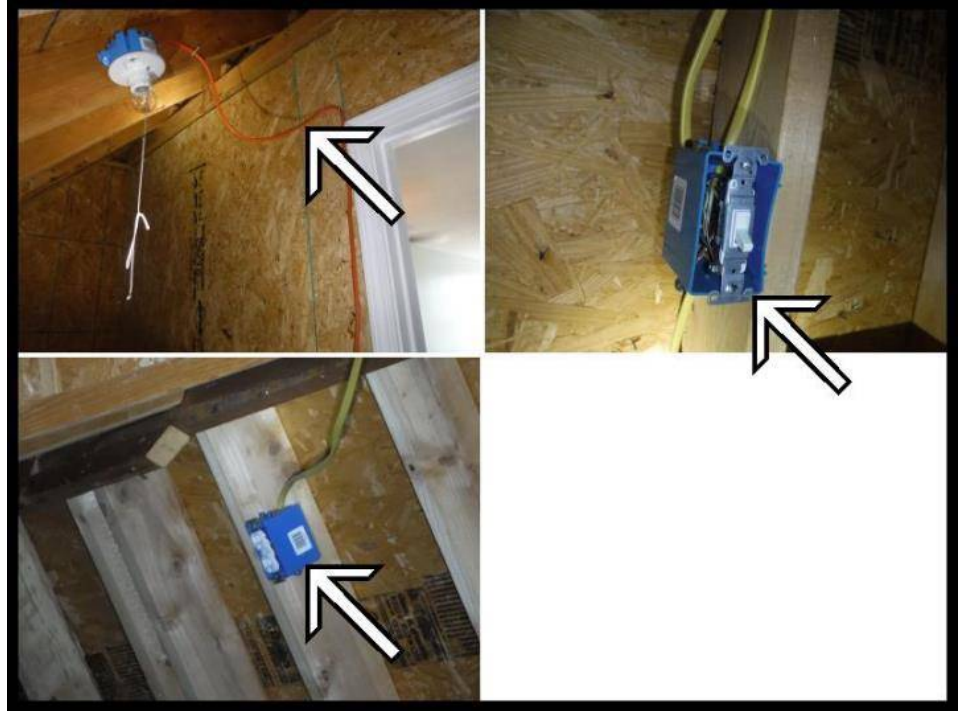
- **There are Outlet[s] with a open grounds as indicated with test meter in the left side upstairs bedroom .**
Recommend a electrician / contractor evaluate interior outlets - repair as needed.

5.3 Exterior Lights - Fans / switches



- Some scattered exterior and interior lights did not work - Possible bulb outages
Recommend evaluation of all lights , repair / replace bulbs as needed.

5.4 Electrical attic



- **There is extension cord type wiring connected a attic ceiling light.**
Note - Extension cord type wiring should be used for temporary applications only.

- There are outlets and switch boxes in the attic with no covers installed.
Recommend a electrician contractor evaluate - repair as needed.

Interior panel notes /

5.5 Interior Panel - Notes

Located in the hall.
The interior panel brand is, Siemens
200 Amp panel box, 200 AMP - Main disconnect breaker.

5.6 Trip devices

Circuit breakers
Circuit Division / wiring appears correct / serviceable.

5.7 Interior panel box entrance cables

Aluminum- OK.

5.8 Branch wiring

Copper / 110 branch wiring.

5.9 Ground cable

Grounding cables noted in the panel box.

KITCHEN - APPLIANCES - LAUNDRY

Inspection of stand alone freezers, refrigerators, washing machines and laundry dryers are outside the scope of the inspection. These are considered portable appliances and are not within the scope of this inspection. No opinion is offered as to the adequacy of dishwasher operation. Ovens, self or continuous cleaning operations, cooking functions, clocks, timing devices, lights and thermostat accuracy are not tested during this inspection. Appliances are not moved during the inspection. Portable dishwashers are not inspected, as they require connection to facilitate testing. No determination of equipment efficiency or remaining life of equipment is made. **Laundry appliances are not tested or moved during the inspection and the condition of any walls or flooring hidden by them cannot be judged. Drain lines and water supply valves serving washing machines are not tested. Dryer vent piping needs to periodically checked and cleaned to remove unwanted lint which may build up over time [This is considered typical maintenance and may prevent a fire hazard condition].** Water supply valves servicing washers may be subject to leaking if turned on and are not operated.

KITCHEN SINK:

6.1 Sink / Faucet / Supply & drain lines



- **Slight leak at the kitchen faucet valve area- This is a slight leak when water is used or faucet turned - In most cases gasket repairs will correct this leak -**
- **- The kitchen sink spray is not secured to the counter top**

Recommend evaluate - repair as needed.

6.2 Disposal

Operated for a short time / Appears serviceable.

DISHWASHER:

6.3 Condition

Functioning: The dishwasher was operated on the rinse cycle to check for its operation and to identify any leakage. Each cycle feature of this unit was not tested.

RANGE/ COOK TOP / OVEN:

6.4 Type / Conditions

The kitchen range is a, GE Brand Electric / Range top and oven top and bottom elements were tested for functional operation -ok, elements were not tested for total efficiency.

RANGE VENTILATION:

6.5 Stove ventilation conditions

This unit is a microwave hood vent combination in operational condition, light and fan was operational . The microwave oven was tested with micro-check device for identification of micro waves, heating efficiency or total heating efficiency was not tested.

REFRIGERATOR:

6.6 Type

The refrigerator is a, Whirlpool brand Electric / The refrigerator is a portable appliance and is not within the scope of this inspection.- NOT fully INSPECTED.

INTERIOR COMPONENTS:

6.7 Counter tops

Appears to be in serviceable /satisfactory condition.

6.8 Cabinets

The kitchen cabinets appear to be in serviceable / satisfactory condition.

LAUNDRY:

6.9 Washer/ Dryer

A washer and dryer is installed. Testing of either is not included as a part of this inspection. Testing of the washer drainage system was not performed. *No complete viewing or inspection was possible under the washer and dryer areas - We do not move appliances for close inspection.*

We recommend routine monitoring and cleaning out lint from dryer vents pipes as needed.

We routinely recommend changing out regular type washer supply hoses to the braided type / The braided type hoses are pressure rated and are much less likely to fail prematurely.

6.10 Conditions



- **The Dryer vent hose in the crawl space is damaged / disconnected** - [Right rear crawl space area]
· *Recommend a contractor evaluate dryer vent piping / repair as needed.*

Note -
*Newer Recommendations for dryer ducts are -
Exhaust ducts shall be constructed of minimum 0.016-inch-thick (0.4 mm) rigid metal ducts, having smooth interior surfaces, with joints running in the direction of air flow. Exhaust ducts shall not be connected with sheet-metal screws or fastening means which extend into the duct.. Ducts should be supported every 12 ft. Exhaust duct terminations shall be equipped with a back draft damper [cover] and extend to the exterior -*

BATHROOM

Slight drips at faucets may not be included in the inspection, these are considered normal maintenance items. Slight cracks in tiles or tile flooring may not be reported, in most cases this is considered cosmetic items and only periodic sealing is needed. We suggest all areas around sinks, faucets, valves and tubs that may invite water intrusion to structural members be caulked and sealed, this is considered normal maintenance.

BATH ROOMS:

7.1 Faucets / Supply lines

Inspected / Faucets and supply lines serviceable --
Stored items restricted complete viewing of all under cabinet areas.

7.2 Basins / Drain fixtures

Inspected / Sink basin and fixture - satisfactory.

7.3 Toilets:



7.3 Toilets:

- **- The toilet bowl is loose at the flooring at right side down stairs bathroom**

- Recommend a plumber / contractor evaluate / repair - secure as needed.

Note / Continual uncorrected toilet movement may cause damage to the wax seal and result in a under floor leak

- *Note - Most contractors shim and or seal around the toilet bases to help with unwanted movement. When sealing toilet bases some contractors leave a small unsealed area at the rear of toilet to identify any possible toilet drain [wax ring seal] failures.*

7.4 Tubs / Showers

Inspected / Serviceable.

7.5 Spa tub

There is a spa tub installed. The mixing valves [water jets] were operated and appeared to be operating as intended. The drainage of this system appears to be acceptable. This inspection does not include any inspections of spa type systems and there performance. Spa jet system was operated for a short period of time. *Partial / limited viewing was made of interior spa tub components during performance from access panel.*

7.6 Tub and shower drains:

The tubs / showers appear to drain at an acceptable rate./ Serviceable
No exhaustive or in depth drain testing was performed.

INTERIOR

The interior inspection does include in all cases cosmetic deficiencies such as slight cracks in plaster walls, ceilings and tile floor work. Chips and scratches in wood work and counter tops and other cosmetic items that are visible to the purchaser during their pre-purchase walk through. As a general rule, cosmetic deficiencies are considered normal wear and tear and are not reported. The condition of walls behind wall coverings, paneling and furnishings cannot be judged. We do not determine the type of drywall used in construction to include [*Chinese Drywall*] which is the focus of litigation in some parts of the country, drywall typing cannot be determined by a visual inspection and is entirely omitted from this inspection. Information on Chinese Drywall, suits and defendants may be found at web page <http://www.chinesedrywall.com/>

Only the general condition of visible portions of walls, ceilings and floors is included in this inspection. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions.

Many times fire place gas log sets and other appliances are installed by the home owner. It is always a good idea to have these gas systems evaluated by your gas company supplier or a gas specialist before operation. We do not light pilot lights to test system operations. Areas hidden from view by finished walls or stored items can not be judged and are not a part of this inspection.

DOORS:

8.1 *Interior doors:* A representative number of doors were inspected and appear serviceable.

WINDOWS:

8.2 *Interior windows:* A representative number of windows were inspected and appear serviceable. We recommend checking windows operations periodically , especially in all sleeping areas. This may be the only means of escape in case of a fire.

INTERIOR WALLS / CEILINGS / TRIM

8.3 *Condition:* The general condition appears serviceable .
Stored items, furniture etc. prevents complete viewing of all walls, flooring etc. This is typical in most houses.

FLOORS:

8.4 *Condition :* General condition appears serviceable
Typical household furnishings and or stored items restrict complete viewing of all flooring areas.

DETECTORS /

8.5 *Comments:* Smoke detector[s] Present - We suggest changing batteries yearly and checking your smoke detectors for operation once a month.

ATTIC

The foregoing is an opinion of the general quality and condition of the roofing attic and attic support members. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. **The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection.** The inspector is not required to enter attic spaces where low headroom areas are present or transverse attic load bearing components that are concealed by insulation or other materials, or enter areas where hazardous conditions or safety concerns exist; evaluate the efficiency of insulation or evaluate ventilation adequacy by means other than visually. **The inspector is not required to enter attic areas where inadequate walk boards are provided or to walk on open or concealed ceiling joists to gain access to areas for a close inspection. Restrictions such as stored goods, attic insulation, roof ceiling designs, duct work, height restrictions and other limitations prevent viewing of attic components and areas in most cases.**

ATTIC & VENTILATION:

- 9.1 Attic Accessibility: Attic entered by a pull down folding type stairway in the ceiling
Pull down stairs should be routinely checked for loose hinges, bolts, screws and overall soundness . This is considered routine maintenance and could help with the prevention of many stairway accidents and injuries.
- 9.2 Method of Inspection: *Partial entry only was made - All attic areas were not available for close inspection. Attic insulation, duct work and height limitations restricts close viewing or accessibility for viewing of all components and areas, this is a typical limitation of most attics. The inspector is not required to enter areas where no walk boards are provided or walk on open or concealed ceiling joists to gain access to areas for close inspection.*
- 9.3 Rafters / Ceiling Joists A wood rafter and ceiling joist system is installed in the attic cavity to support the roof sheathing and interior ceilings. It is common for installed insulation to restrict viewing of some components and most all viewing of attic joist members.
- 9.4 Roof Sheathing: The roof deck supports are sheathing type construction - serviceable condition where visible.
- 9.5 Stains in the attic/ Condition There are some slight stains in the attic. Stains did not have a elevated moisture content **where accessible for close inspection**, all areas are not accessible due to limited walk boards, height restriction limitations and other factors restricting access for close inspection.
- 9.6 Attic Ventilation: There are ridge vents installed at the peaks of the roof.
- 9.7 Insulation: Insulation installed with a average of 10 inches in the attic-
- 9.8 Attic Air Handler: There is a safety pan, safety switch and drain condensation line in the attic /

PLUMBING

All underground piping and unexposed piping related to water supply, waste, or sprinkler use are excluded from this inspection. Leakage or corrosion in underground piping cannot be detected by a visual inspection. The temperature pressure relief valve, at the upper portion of the water heater, is a required safety valve which should be connected to a drain line of proper size terminating in a safe location . The steam caused by pressure relief valve blow -off can cause scalding. The inspector is not required to operate systems that have been shut down or winterized, or operate pressure relief valves . The inspector is not required to determine the life expectancy of water heaters and other home systems / units or how long they will function in the future.

PLUMBING / INTERIOR - CRAWLSPACE

- 10.1 Water supply lines Plastic - PVC / CPVC.
- 10.2 Drain lines / Crawlspace Plastic - PVC.
- 10.3 Plumbing conditions :



- There is a substantial leak which appears to be a drain line connection under the left rear tub / shower area with standing water on the vapor barrier
Recommend a contractor / plumber evaluate under leakage etc. - repair as needed.

WATER HEATER:

- 10.4 Water heater brand AO Smith.
- 10.5 Type - size Located under the stairway
Electric water heater. 50 Gallons / The approximate manufacture date estimated by the serial @ 2009
Pan installed under the water heater with drain piping attached.
- 10.6 Water temperature Temperature was tested at the kitchen sink in degrees @ 120 degrees OK.

CRAWL SPACE / BASEMENT

In crawl space type construction, under floor insulation, duct work, plumbing, electrical wiring and height restrictions where applicable restricts complete viewing of all floor joists, sub flooring, plumbing, wiring and other related under floor components. The inspector is not required to enter under-floor crawlspace areas that have less than 24 inches of vertical clearance between components and the ground or that have an access opening smaller than 16 inches by 24 inches, or where adverse conditions exists, determine the extent of damage caused by insects.

Under ground water supply and drain pipes are not visible and are excluded from this inspection .

Minor cracks are typical in many foundations, curtain walls and veneer walls, most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. This inspection in no way guarantees the type of construction whether custom, stick built / modular are other types.

Mobile and modular homes in most cases have fully enclosed under floor wrap installed over flooring members which restrict viewing of structural members, wiring, insulation and most duct work/ mechanical areas.

CRAWL SPACE:

11.1 Crawl space access : Exterior locations X 2.

11.2 Crawl space viewing: *Under floor insulation, duct work, plumbing and height restrictions where applicable restricts complete viewing of all floor joist, sills, sub flooring, plumbing, wiring etc.*

11.3 Unaccessible crawl space areas All portions of crawl space were not available for close inspection due to height restrictions or other restrictions etc. limiting complete access and or visibility in areas. Crawl space inspection was limited to approximately 70 %

11.4 Crawl space Insulation: Insulation is installed in the crawl space appears to be R19- 6 inches as required.

11.5 Insulation condition :



- **Insulation in the crawl space is missing / fallen and or unsecured in scattered areas.**

Recommend a contractor evaluate / repair - re-secure as needed.

11.6 Crawl space floor : Dirt under crawl space with a vapor barrier installed over the ground to help with moisture control .

11.7 Crawl space wood moisture: Moisture readings of flooring members was taken in the crawl space in several areas with moisture readings noted @ 10-12 %
This reading is within acceptable limits at time of inspection.

11.8 Piers / Pilasters: Piers and pilasters were sound where visible and accessible for inspection.

11.9 Floor Joists / Sub-flooring/
Sills - Conditions:



- Masonry support piers or double joist hangers or ledgers etc. are not positioned under the framing double sills under the front and rear porch areas [Sills connections adjacent to the house]
These double sills usually support multiple floor joists -

Recommend a qualified contractor evaluate and repair as needed.

11.10 Ducts/ Air supply - Crawl Appears serviceable.
space:

11.11 Crawl space observations /



- X bracing in the crawl space was never nailed at bottoms
- Nailing of X braces may not be necessary for structural soundness, however nailing these braces will help with additional floor soundness.
- These braces are installed to help with under floor squeaks and help eliminate floor joist flex.

Recommend a contractor evaluate - Nail / secure as needed.